

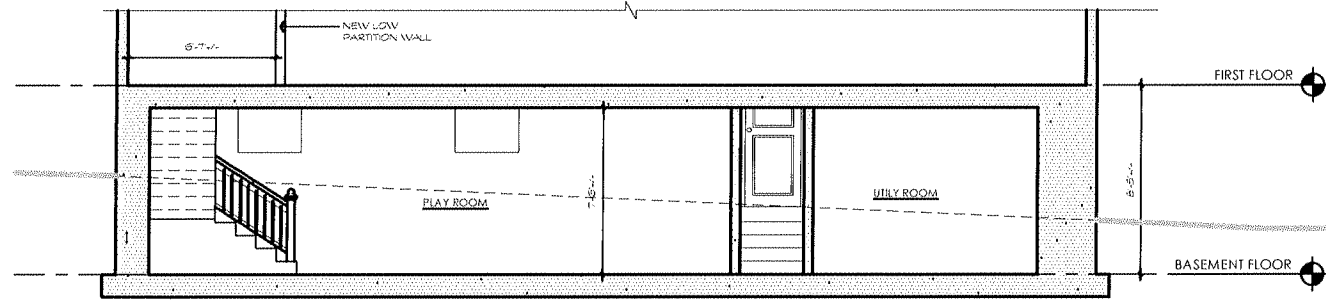
# Proposed Renovations @ 11 Lafield Street Dorchester, MA

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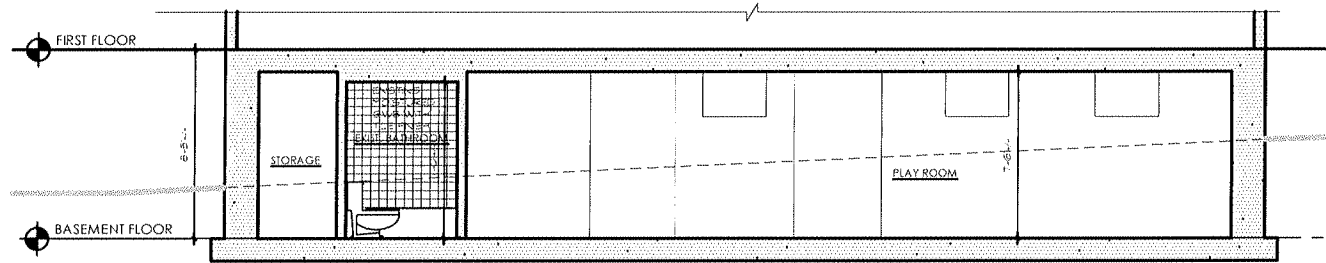
DATE: 03/14/16  
SCALE: AS NOTED  
DRAWN BY: JM  
CHECKED BY: ESP

*Phung Porzio*  
Phung/Porzio  
STUDIO OF ARCHITECTURE  
204 Adams St # 5  
Dorchester, MA 02122  
(617) 282-3600 Phone  
(617) 282-6966 Fax

ABBREVIATIONS	DRAWING INDEX	SCOPE OF WORKS	DEMOLITION NOTES	GENERAL NOTES	GRAPHIC SYMBOL LEGEND										
<p>A.B. - ANCHOR BOLT A.C. - AIR CONDITIONING A.C.T. - ACOUSTICAL CEILING TILE A.D. - ACCESS DOOR A.F.F. - ABOVE FINISH FLOOR AL. - ALUMINUM BLDG. - BUILDING BOT. - BOTTOM B.P. - BUILDING PAPER BR. - BRASS BRZ. - BRONZE B.U. - BUILT UP C. - CENTER LINE CHR. - CHROME C.I. - CAST IRON C.J. - CONTROL JOINT CLG. - CEILING C.M.U. - CONCRETE MASONRY UNIT CM. - CARBON MONOXIDE COL. - COLUMN CONC. - CONCRETE CONT. - CONTINUOUS C.T. - CERAMIC TILE DET. - DETAIL DIM. - DIMENSION LINE REFERENCE DN. - DOWN DR. - DOOR DWS. - DRAWING E. - EAST EA. - EACH E.B. - EXPANSION BOLT E.J. - EXPANSION JOINT EL. - ELEVATION ELEC. - ELECTRICAL EQ. - EQUAL E.W.C. - ELECTRIC WATER COOLER EXIST. - EXISTING EXT. - EXTERIOR F.D. - FLOOR DRAIN F.E. - FIRE EXTINGUISHER FN. - FINISHED FL. - FLOOR GA. - GAUGE GALV. - GALVANIZED G.C. - GENERAL CONTRACTOR GL. - GLASS G.W.B. - GYPSUM WALL BOARD HGT. - HEIGHT H.M. - HOLLOW METAL HORIZ. - HORIZONTAL I.D. - INSIDE DIAMETER INBUL. - INBULATED INT. - INTERIOR LAV. - LAVATORY LVR. - LOUVER</p>	<p>L.C.C. - LEAD COATED COPPER MAX. - MAXIMUM MECH. - MECHANICAL M.F. - METAL FLASHING MFR. - MANUFACTURER MIN. - MINIMUM M.O. - MASONRY OPENING MTL. - METAL N. - NORTH N.C. - NOT IN CONTRACT N.T.S. - NOT TO SCALE OA. - OVERALL O.C. - ON CENTER O.D. - OUTSIDE DIAMETER OH. - OVERHEAD OPG. - OPENING OPP. - OPPOSITE PAR. - PARALLEL PERP. - PERPENDICULAR PLAM. - PLASTIC LAMINATE PTD. - PAINTED P.W.D. - PLYWOOD Q.T. - QUARRY TILE R. - RADIUS R.D. - ROOF DRAIN REINF. - REINFORCING REQD. - REQUIRED RM. - ROOM R.O. - ROUGH OPENING S. - SEALANT /OR CAULKING SCR. - SCREW SECT. - SECTION S.F. - SQUARE FOOT SM. - SIMILAR SPEC. - SPECIFICATION S.S. - STAINLESS STEEL STL. - STEEL STR. - STRUCTURAL S.V.F. - SHEET VINYL FLOORING T. - TREAD T.B. - TOGGLE BOLT T &amp; G - TONGUE AND GROOVE T.GL. - TEMPERED GLASS THK. - THICK T.O.C. - TOP OF CONCRETE T.O.M. - TOP OF MASONRY T.O.S. - TOP OF STEEL T.O.W. - TOP OF WALL TYP. - TYPICAL U.O.N. - UNLESS NOTED V.B. - VAPOR BARRIER VERT. - VERTICAL V.I.F. - VERIFY IN FIELD</p>	<p>T-1 COVER SHEET SP-1 SITE PLAN A-1 PROPOSED PLANS &amp; SCHEDULES</p>	<p>PROPOSED TO RENOVATE AN EXISTING BASEMENT AND CONVERT IT INTO ADDITIONAL LIVING SPACE FOR UNIT #1.</p> <p><b>ERRORS &amp; OMISSIONS</b></p> <p>IT IS THE ARCHITECT'S INTENT TO ACCURATELY SHOW PROPOSED CONDITIONS AS WELL AS THE EXISTING CONDITIONS FOR THIS PROJECT. HOWEVER, FIELD CONDITIONS MAY VARY AND IT IS THEREFORE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY FIELD CONDITIONS AND IMMEDIATELY REPORTED ANY MAJOR DISCREPANCIES OR OMISSIONS TO THE ARCHITECT (617) 282-3600.</p>	<p>1. REMOVE ALL INTERIOR WALLS, COMPLETE EXCEPT FOR CENTRAL PARTY WALL WHERE SHOWN ON DRAWINGS. WHERE WALLS TO BE REMOVED ARE BEARING, PROVIDE TEMPORARY SHORING.</p> <p>2. REMOVE EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO: CARPET, CERAMIC TILE, RESILIENT FLOORING, BASE AND WALL COVERINGS WHERE INDICATED AND AS REQUIRED. PREPARE SURFACES TO RECEIVE NEW FINISHES.</p> <p>3. REMOVE EXISTING DOORS, FRAMES, STANDING AND RUNNING TRIM, EQUIPMENT, ACCESSORIES AND CABEWOR. PATCH FLOOR, WALLS AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES.</p> <p>4. REMOVE EXISTING PLUMBING FITTINGS.</p> <p>5. REMOVE ALL EXISTING ELECTRICAL DISTRIBUTION, RECEPTACLES AND FIXTURE WHERE APPLICABLE.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF HIS WORK. KEEP THE SITE CLEAR FOR ACCESS BY THE OWNER AND HIS FORCES DURING THE COURSE OF THE JOB.</p> <p>7. SHORING &amp; BRACING ARE REQUIRED PRIOR TO ANY BEARING WALLS TO BE REMOVED. PROPERLY SHORE &amp; BRACE ALL BEARING WALLS AS REQUIRED WHICH ARE TO BE REMOVED.</p> <p>8. LEGALLY DISPOSE OF ALL DEBRIS.</p>	<p>1. THE CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED FOR THIS PROJECT.</p> <p>2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.</p> <p>3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.</p> <p>4. ALL ELECTRICAL &amp; PLUMBING WORKS SHALL BE PERFORMED BY LICENSE ELECTRICIAN &amp; LICENSE PLUMBER IN PERFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE.</p> <p>5. PRIOR TO SUBMITTING A BID, THE GENERAL CONTRACTOR SHALL VISIT AND THOROUGHLY ACQUAINTED WITH THE PROJECT.</p> <p>6. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.</p> <p>7. THE CONTRACTOR SHALL MAKE APPLICATION FOR ALL UTILITIES AND SERVICES.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF HIS WORK. KEEP THE SITE CLEAR FOR ACCESS BY THE OWNER AND HIS FORCES DURING THE COURSE OF THE JOB.</p> <p>9. THE CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT WHEN THE WORK IS READY FOR A FINAL PUNCH LIST.</p> <p>10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.</p> <p>11. THE CONTRACTOR SHALL WARRANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.</p> <p>12. DESIGN: IT IS INCUMBENT UPON THE CONTRACTOR TO BUILD THE PROJECT AS DESIGNED. ATTENTION SHOULD BE PAID TO THE DETAILS AS WELL AS THE OVERALL DESIGN. IF THERE ARE ANY QUESTIONS OR CHANGES TO BE MADE TO THE DESIGN THE ARCHITECT IS TO BE NOTIFIED BEFORE BAD CHANGES ARE MADE.</p>	<p>NEW WALL TO BE CONSTRUCTED</p> <p>EXISTING WALLS TO BE DEMOLISHED</p> <p>EXISTING WALL TO REMAIN</p> <p>PARTITION TYPE</p> <p>DOOR SYMBOL</p> <p>WINDOW SYMBOL</p> <p>SMOKE DETECTOR / CARBON MONOXIDE</p> <p>PULL STATION (HORN, STROBE, LIGHT)</p> <p>LIGHT STROBE</p> <p>AIR RETURN SYMBOL</p> <p>SECTION DETAIL REFERENCE</p> <p>EXTERIOR ELEVATION</p> <p>SECTION REFERENCE</p>									
					<table border="1"> <thead> <tr> <th>REVISION:</th> <th>DATE:</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table> <p>DRAWING TITLE: <b>Cover Sheet</b></p> <p>SHEET NUMBER: <b>T-1</b></p>	REVISION:	DATE:								
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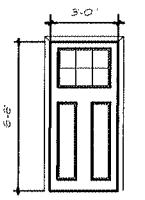
BASEMENT SECTION 1  
SCALE: 1/4" = 1'-0"



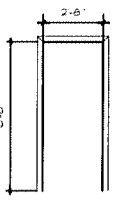
BASEMENT SECTION 2  
SCALE: 1/4" = 1'-0"

**DOOR SCHEDULE**

UL LABEL	DOOR			FRAME			REMARKS
	TYPE	WIDTH	HEIGHT	HARDWARE	TYPE	HEAD	
N/A	1	3'-0"	6'-8"	NOTE 1	WD		EXTERIOR SOLID CORE WOOD DOOR W/ LITE
N/A	2	2'-8"	6'-8"	NOTE 1	WD		INTERIOR SOLID CORE WOOD DOOR



DOOR TYPE 1  
SCALE: NTD

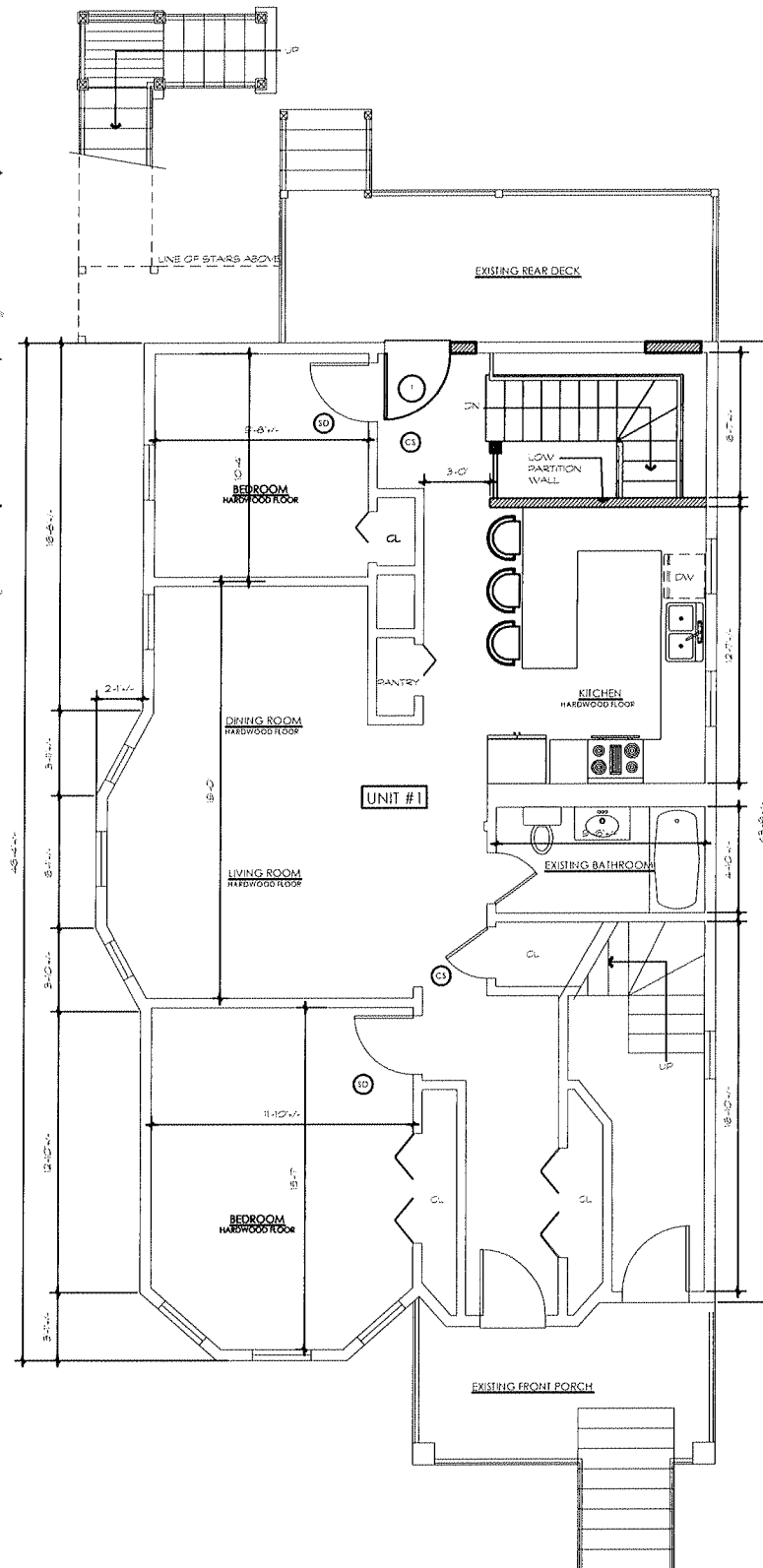


DOOR TYPE 2  
SCALE: NTD

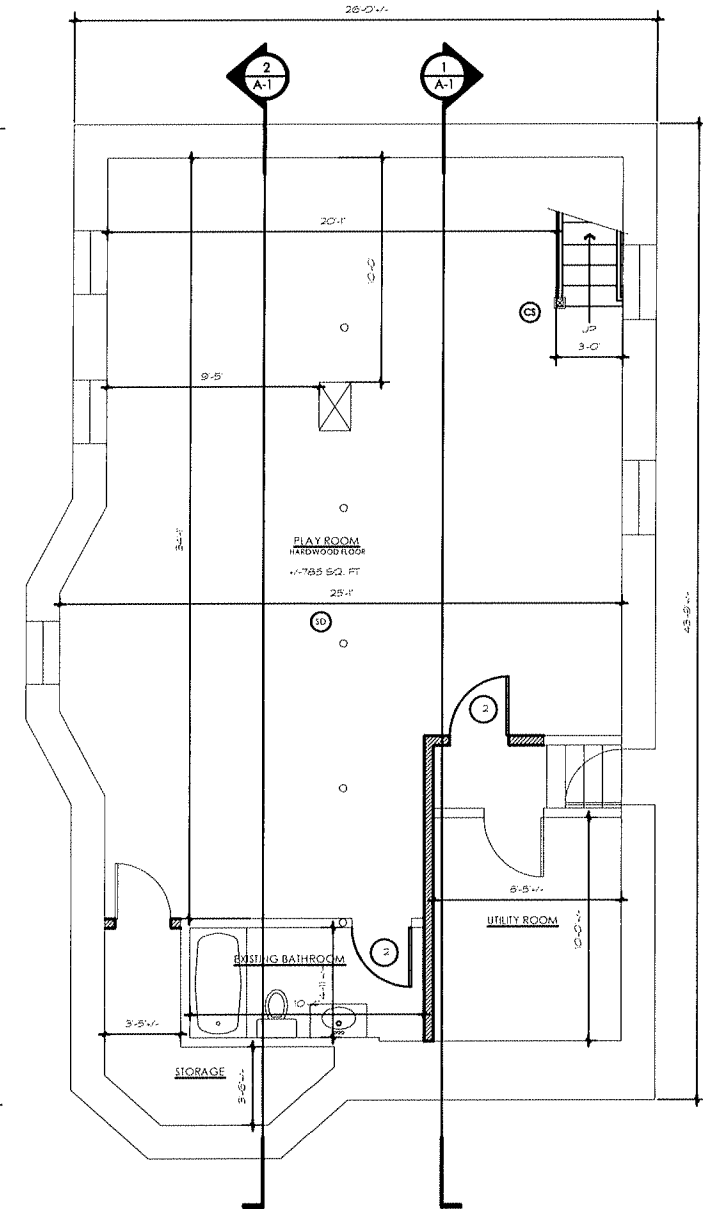
**HEADER SCHEDULE**

INTERIOR BEARING WALLS ( UNLESS OTHERWISE NOTED ON DRAWINGS )									
SPAN	SUPPORTING ROOF			SUPPORTING ROOF + 1 FLOOR			SUPPORTING ROOF + 2 FLOORS		
	HEADER	JACK	JAMB	HEADER	JACK	JAMB	HEADER	JACK	JAMB
0'-0" TO 3'-0"	3-2x6	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6
3'-1" TO 5'-0"	3-2x10	1-2x6	1-2x6	3-2x12	2-2x6	1-2x6	3-2x12	2-2x6	3-2x6
5'-1" TO 8'-0"	3-2x12	1-2x6	1-2x6	3-1 1/2" x 7 1/2" ML	2-2x6	2-2x6	3-1 1/2" x 7 1/2" ML	3-2x6	3-2x6
EXTERIOR BEARING WALLS ( UNLESS OTHERWISE NOTED ON DRAWINGS )									
SPAN	SUPPORTING ROOF			SUPPORTING ROOF + 1 FLOOR			SUPPORTING ROOF + 2 FLOORS		
	HEADER	JACK	JAMB	HEADER	JACK	JAMB	HEADER	JACK	JAMB
0'-0" TO 3'-0"	3-2x6	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6
3'-1" TO 5'-0"	3-2x10	1-2x6	1-2x6	3-2x12	2-2x6	2-2x6	3-2x12	2-2x6	3-2x6
5'-1" TO 8'-0"	3-2x12	1-2x6	2-2x6	3-1 1/2" x 7 1/2" ML	2-2x6	2-2x6	3-1 1/2" x 7 1/2" ML	3-2x6	3-2x6

NOTE: HEADERS AT FLOOR LEVELS ARE SIZED ASSUMING OPENING ABOVE IS EQUAL OR LARGER THAN OPENING IN QUESTION.



PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROPOSED BASEMENT FLOOR PLAN  
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Proposed Plan &  
Schedules

SHEET NUMBER:

**A-1**